

AVAILABLE FOR SALE

685 Kings Hwy E & 227 Berwick Avenue, Fairfield



1,488 SF Commercial Retail Building & 959 SF Single-Family House, adjacent to each other.



To arrange a tour contact:
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203-226-7101 Ext 8
silvester@vidalwettenstein.com

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203-226-7101 Ext 6
krisztina@vidalwettenstein.com

VIDAL/WETTENSTEIN, LLC



719 Post Road East, Westport, CT 06880
www.vidalwettenstein.com

Positioned at the intersection of 685 Kings Hwy E and 227 Berwick Avenue in Fairfield, this property presents a compelling redevelopment opportunity in a well-established and highly accessible corridor. The site benefits from strong visibility, steady local traffic, and proximity to key residential neighborhoods, making it ideal for a range of forward-looking uses.

Surrounded by a balanced mix of commercial activity and suburban charm, the location offers the rare advantage of both convenience and community appeal. Its generous footprint and strategic corner positioning allow for flexible planning—whether envisioning modern residential units, boutique retail, mixed-use development, or a thoughtfully designed live-work destination.

With easy access to major roadways and nearby amenities, future development here can seamlessly integrate into the fabric of Fairfield while elevating it. This is a chance to reimagine a well-located parcel into a vibrant, high-value asset that meets the evolving needs of today's market.

Strong demographics and limited supply make redevelopment attractive. The surrounding area features stable, higher-income households and established neighborhoods, but relatively constrained new development. That imbalance creates an opportunity to introduce updated product—whether residential, mixed-use, or service-oriented retail—that meets modern expectations and commands premium pricing.

There's value-add potential. If the existing use is underutilized, redevelopment allows an investor to significantly increase the property's highest and best use, driving NOI growth and long-term appreciation in a market that historically holds value well.



Property Details

Two separate lots that are adjacent to each other

685 Kings Hwy East Fairfield, CT 06825:

- Commercial retail building.
- The total building area is 1,488 square feet
- 0.10 acres
- Zone DCD Designed Commercial District.
- The existing tenant is on a month-to-month basis.
- Age 1933.
- 72 Feet of frontage on Kings Hwy E

227 Berwick Avenue, Fairfield, CT 06825:

- Single-family house.
- The total living area of the building is 959 square feet
- 0.17 acres.
- Zone C Residence "C" District.
- The house is vacant and is in distress.
- Age 1916

Key Highlights

16,700 cars drive by daily

Conceptual drawings available
for 18 units

Total land 0.27 Acres

Combined Asking price:
\$825,000

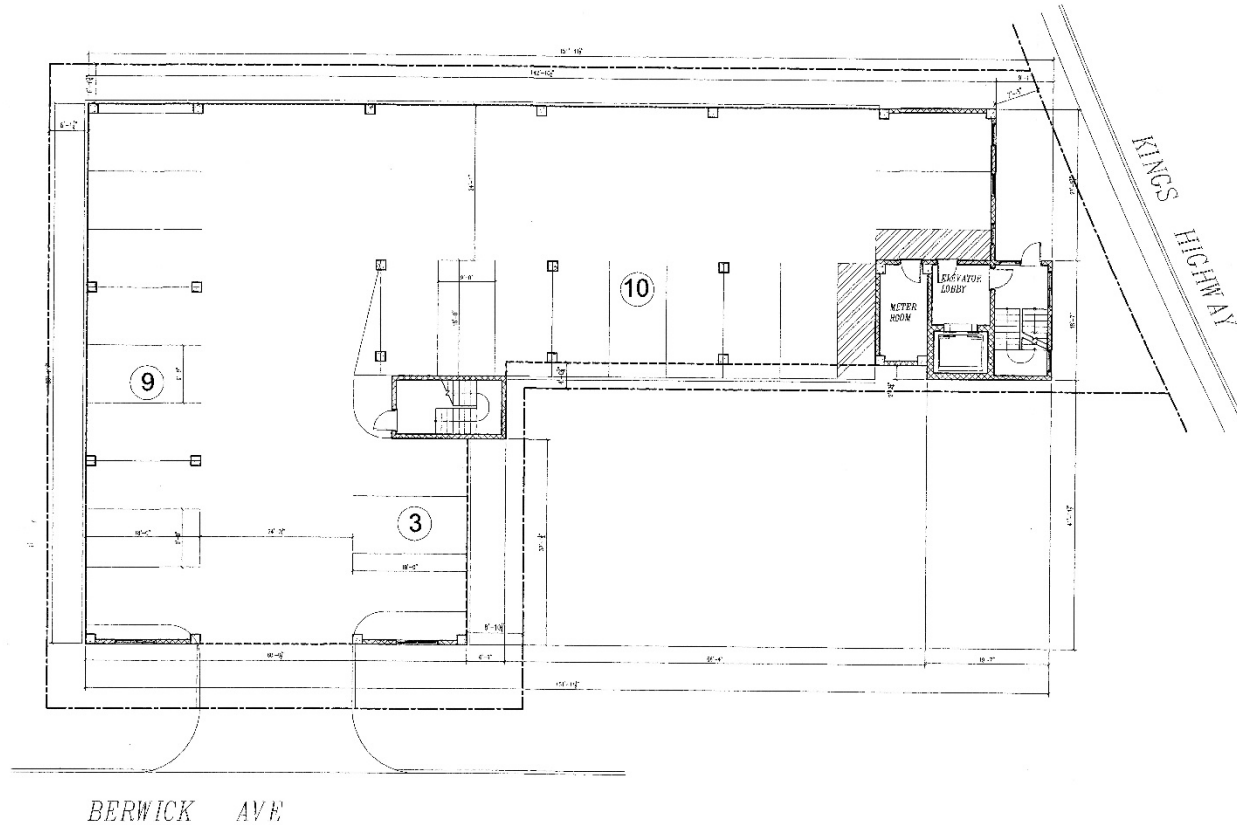
Taxes:

685 Kings Hwy E
\$8,617.32

227 Berwick Ave
\$5,671.76

Zone:

The underlying zone is Designed Commercial District and Residence C, and such District abuts a state highway, the provisions of Section 10.6, and 10.6.8 regarding minimum lot area and, maximum allowable dwelling unit density may at the discretion of the Commission be waived if a petition for a change in the zone map is made in connection with a "Set-aside Development" as defined by Section 8-30g(6) of the Connecticut General Statutes or any amendment thereto and subject to the additional standards provided in Section 10.17; provided however, in no event may the minimum lot area be less than one half (1/2) acre and the maximum allowable dwelling unit density greater than thirty (30) units per acre on a pro rata basis.




GARAGE LEVEL PLAN
SCALE - 1/8" = 1'-0"



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GUEDES ASSOCIATES, INC.
Designers, Architects & Project Managers
1425 Noble Avenue, Bpt., CT. 06610
Tel. 203-367-5180 Fax. 203-367-4961



DATE: 7/2/21
DRAWN: [Name]
CHECKED: [Name]
PROJECT #:

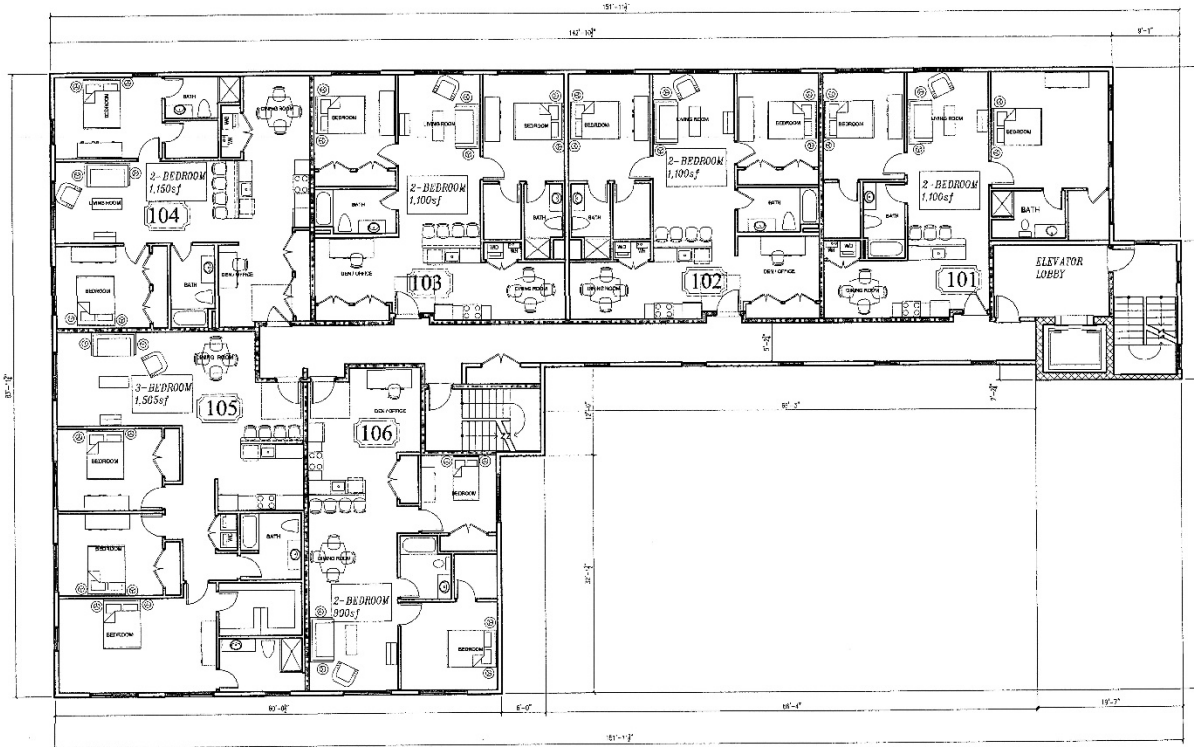
685 KINGS HIGHWAY
FAIRFIELD, CT
FIRST FLOOR PLAN



**PRIMROSE
COMPANIES**

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A-1



6392
 2520 sqft
 = 8'862 per floor
 Total = 26'586 sqft

SECOND FLOOR PLAN

SCALE - 1/8" = 1' - 0"

- | | |
|-------------------------------|-------------------------------|
| SIX DWELLING UNITS | 18 DWELLING UNITS |
| FIVE 2 BEDROOM DWELLING UNITS | 15 - 2 BEDROOM DWELLING UNITS |
| ONE 3 BEDROOM DWELLING UNITS | 3 - 3 BEDROOM DWELLING UNITS |

NO.	REVISIONS
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COMMONS	NO. 5	AS NOTED
NCS HIGHWAY	7-6-21	PROJECT #:
FIELD, CT	CREW/CLIENTS:	
NO FLOOR PLAN		

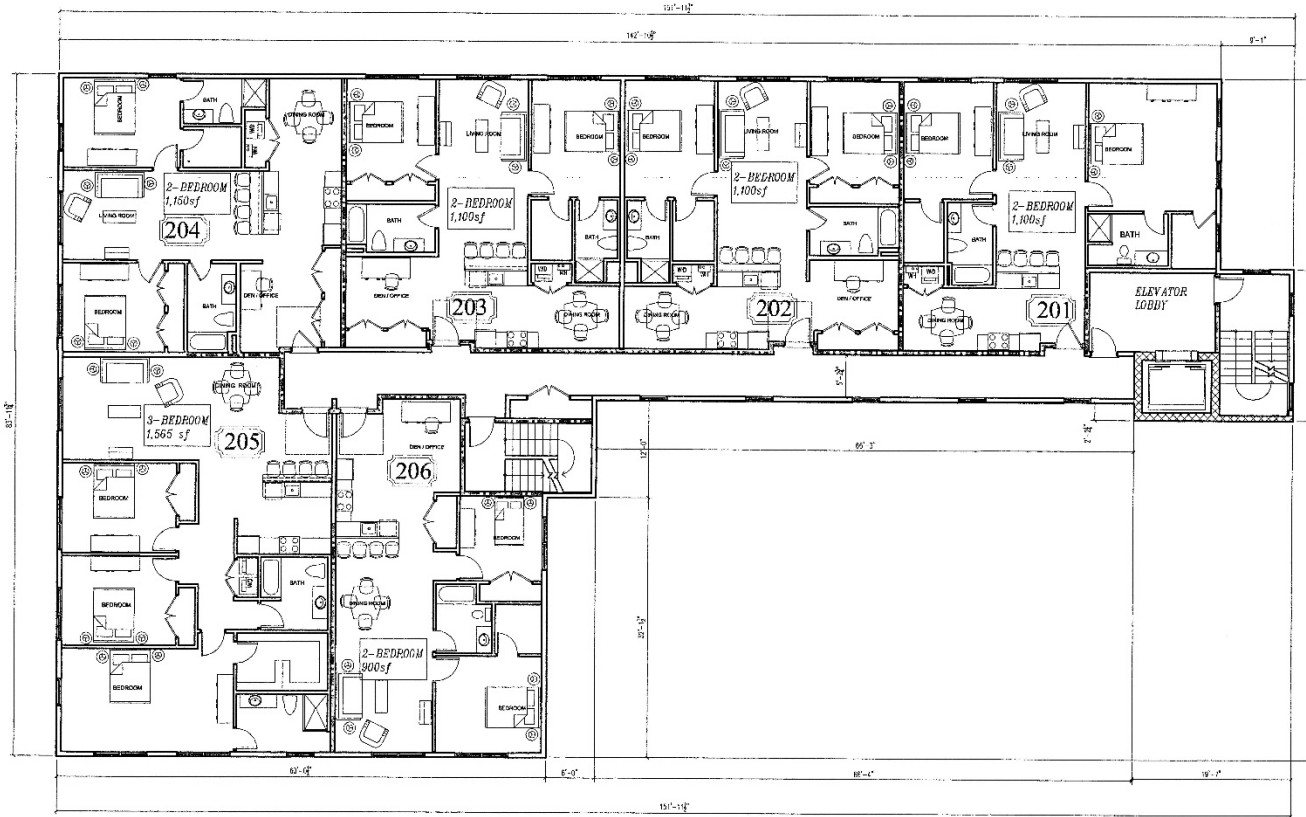


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THIRD FLOOR PLAN

SCALE - 1/8" = 1' - 0"

SIX DWELLING UNITS

FIVE 2 BEDROOM DWELLING UNITS

ONE 3 BEDROOM DWELLING UNITS



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REVISIONS					

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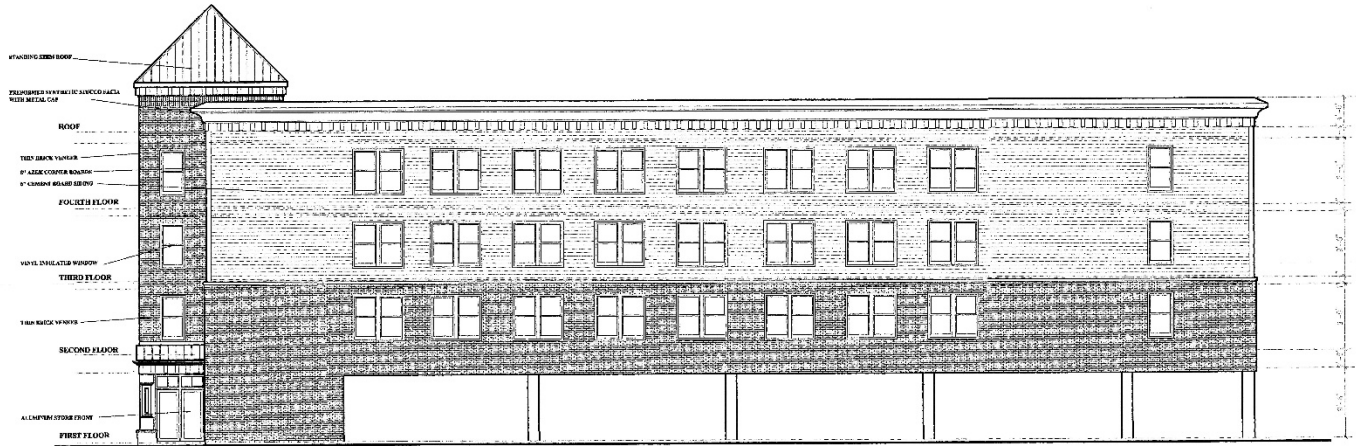
DATE	SCALE	AS NOTED	PROJECT #
7-8-21			
DRAWN			



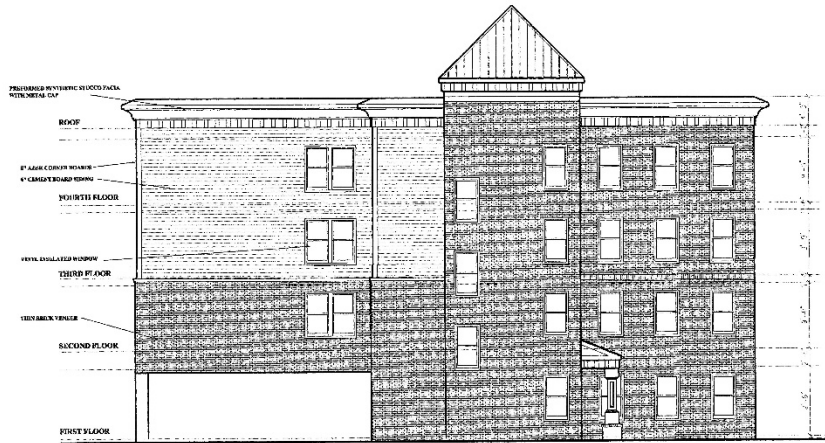
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RIGHT SIDE ELEVATION PLAN
SCALE - 3/16" = 1'-0"



KINGS HIGHWAY EAST ELEVATION PLAN
SCALE - 3/16" = 1'-0"



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REVISIONS					

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KING COMPANY 685 KINGS HIGHWAY FAIRFIELD, CT	DATE: 7-6-21 DRAWN: J.N. GUEDES	SCALE: AS NOTED PROJECT #:
	FRONT & RIGHT SIDE ELEVATION PLAN	

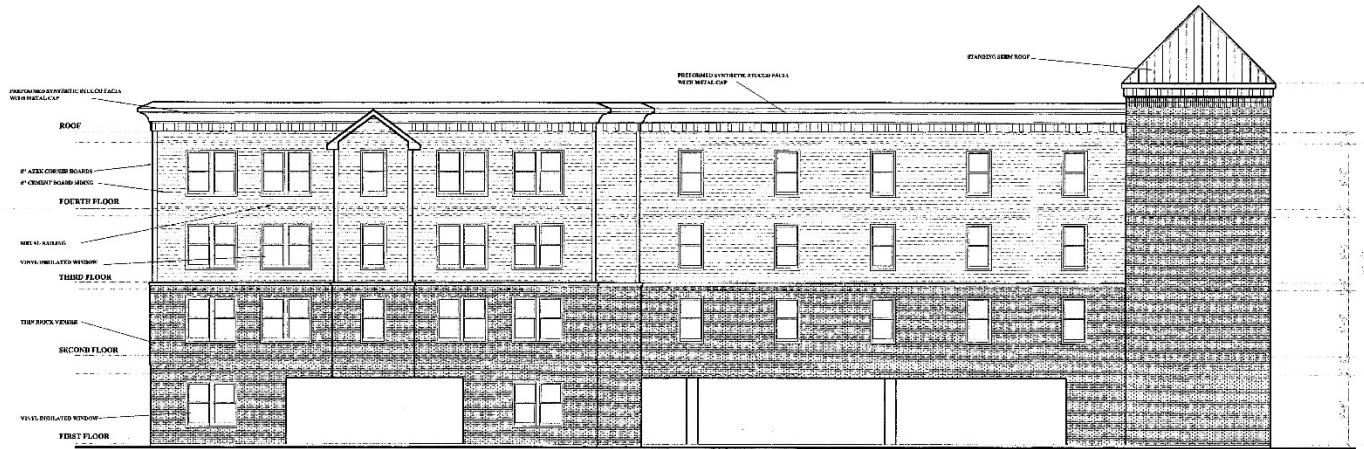


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BERWICK ELEVATION PLAN
SCALE - 3/16" = 1'-0"



REAR ELEVATION PLAN
SCALE - 3/16" = 1'-0"



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REVISIONS					

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COMMONS NCS HIGHWAY FIELD, CT	DATE: 7-8-21	SCALE: AS NOTED	PROJECT #:
			J.N. GUEDES



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STANDARD	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED	AS-BUILT
Minimum Lot Area	5,000 SF	7,500 SF		
Minimum Street Lot	50'	75.0'		
Minimum Lot Frontage	50'	75.0'		
Minimum Lot Area and Overlap Lot	5,000 SF	7,500 SF		
Minimum Setback Front Street Line	20'	20.7'		
Min. Setback Front Side Property Line	12/17'	N/A		
Min. Setback Front Side Property Line	5'	7.3'		
Minimum Setback Front Side Property Line	12/20'	46.8'		
Minimum Setback Front Side Property Line	20'	54.8'		
Minimum Floor Area - One Story Building	750 SF	N/A		
Minimum Floor Area - Two or more Story	850 SF	*1,473 ± SF		
Minimum Height of a Building or Structure	3'	20.7'		
Minimum Number of Stories Per Building	2-1/2	1-1/4		
Minimum Building Lot Coverage	30%	19.7%		
Minimum Front Yard Setback	10.0'	19.3'		
Minimum Building Footprint Area in % Percentage of Lot Area	50%	19.8%		

STANDARD	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED	AS-BUILT
Minimum Lot Area, lot area	10,000	4,500 ± SF		
Minimum Street Lot	75.0'	50.0'		
Minimum Lot Frontage	75'	54.7'		
Minimum Setback Street Line	25'	8.1'		
Minimum Setback from Side Property Line	0.8-10'	6.9 & 6.9'		
Minimum Front Setback	10'	30.0'		
Minimum Floor Area	-	-		
Minimum Height of a Building or Structure	40'	10.9'		
Minimum Number of Stories Per Building	4	1		
Minimum Building Lot Coverage as a Percentage of Lot Area	75%	34.35%		
Minimum First Floor Elevation	10.7'	18.1'		
Minimum Floor Area in % Percentage of Lot Area	150%	33.2%		

BUILDING ZONE: DESIGNATED COMMERCIAL DISTRICT
685 KINGS HIGHWAY



MINIMUM SETBACK FROM DRIVEWAY

Minimum Setback Front Street Line	30/30'	27.8'
Minimum Setback Front Side Property Line	10/10'	3.7'
Minimum Setback Front Rear Property Line	10/10'	3.7'

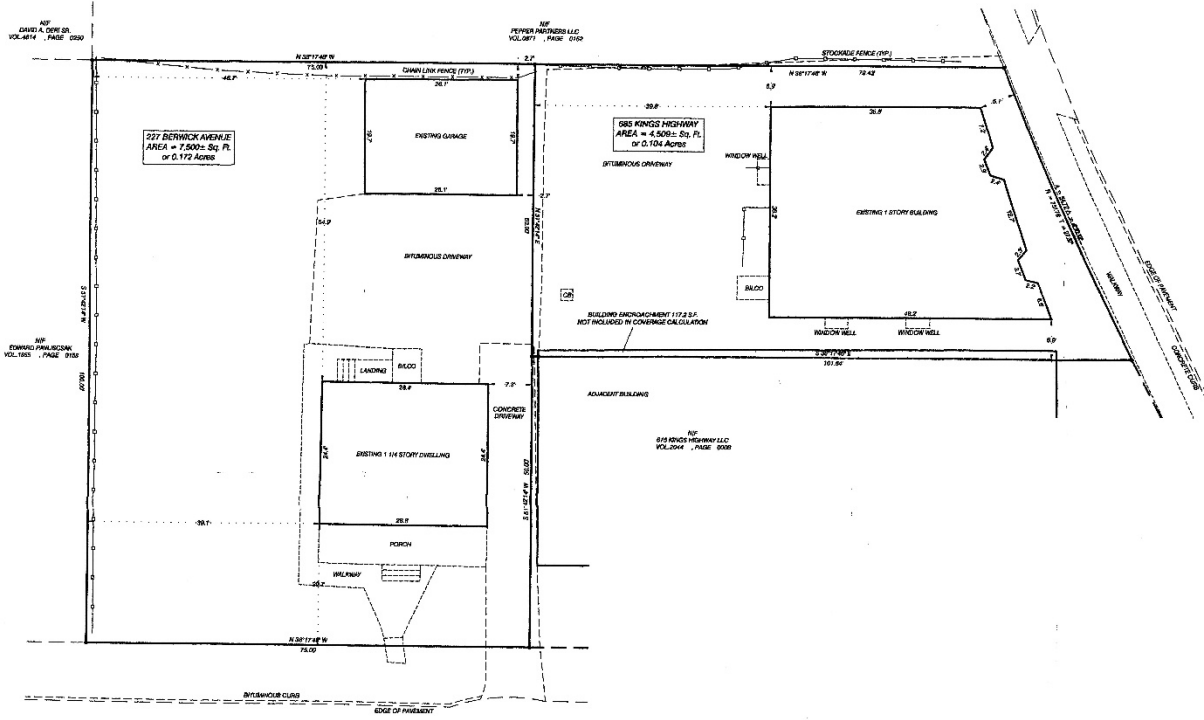
BUILDING ZONE: C
227 BERWICK AVENUE
*1/4 STORY FLOOR AREA BASED ON FIELD CARD

GENERAL NOTES:

- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300a-1 through 20-300a-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 25, 1986.
- This Survey conforms to Class A-2.
- The Type of survey performed is a Limited Property Boundary Survey, and is intended to be Existing Building Location Survey.
- Boundary determination is based upon a Dependent Recovery (see MAP REFERENCES and Record Deeds).
- North Arrow is based on Map Reference # 1.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in the block of this map.
- Property Lines Established According to Record Deeds as exist.
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted herein have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from people testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-622-4455.
- Lot served by town sewer system and public water supply.
- Entire Subject Properties Under Zoning: AG EL. 18 per Flood Insurance Rate Map, Community Plan Number 05001 (CG480) Panel 436 of 606, EFFECTIVE DATE: JUN 08, 2013.
- Elevations are based on N.A.S.D. Datum 1985.

MAP REFERENCES:

- RECORD MAP #111
- CORD MAP #2019



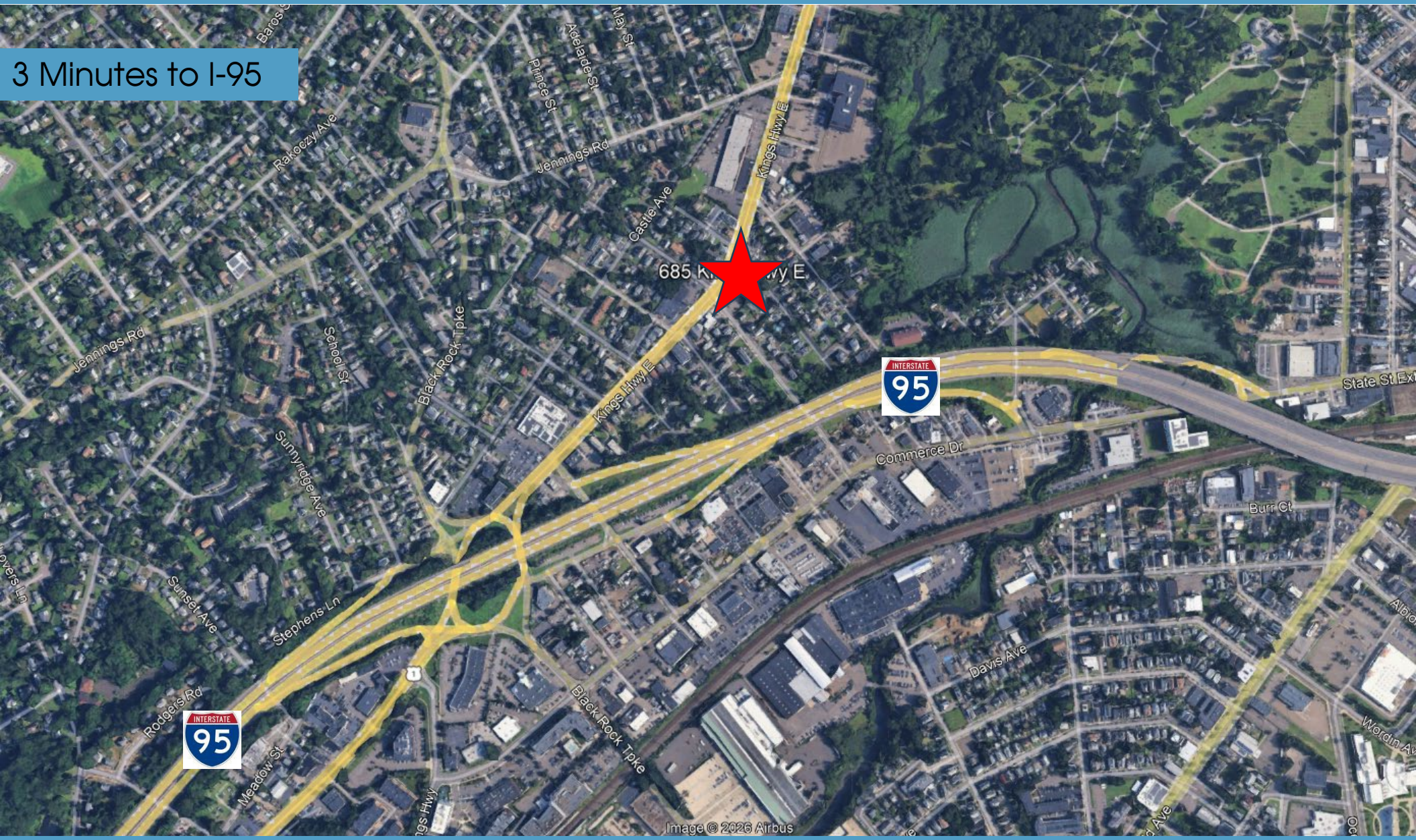
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3 Minutes to I-95



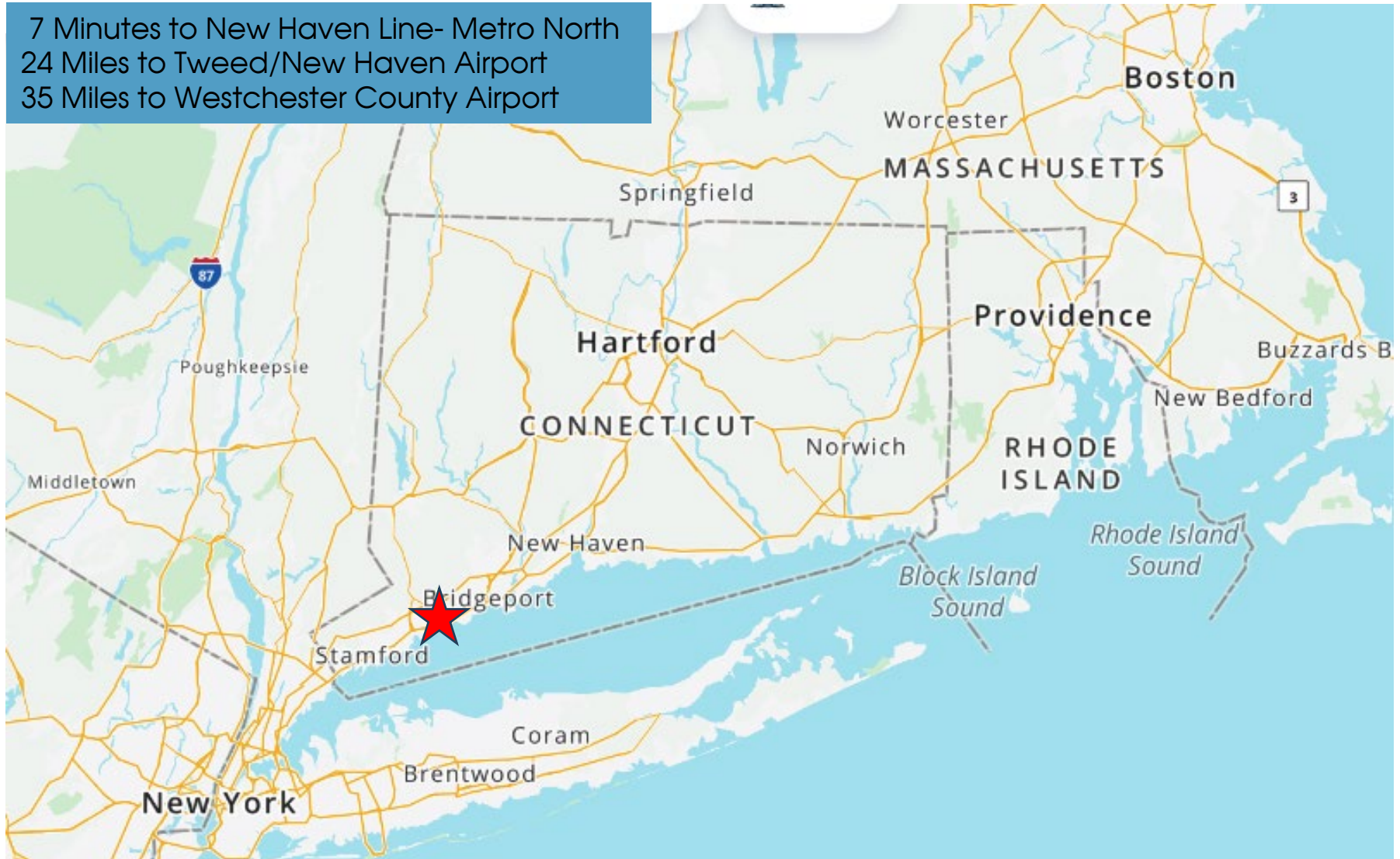
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7 Minutes to New Haven Line- Metro North
24 Miles to Tweed/New Haven Airport
35 Miles to Westchester County Airport



Fairfield, Connecticut

General

	Fairfield	State
ACS, 2019–2023		
Current Population	62,508	3,598,348
Land Area <i>mi</i> ²	30	4,842
Population Density <i>people per mi</i> ²	2,091	743
Number of Households	21,433	1,420,170
Median Age	41	41
Median Household Income	\$168,391	\$93,760
Poverty Rate	5%	10%

Economy

Top Industries

Lightcast, 2023 (2 and 3 digit NAICS)	Jobs	Share of Industry
1 Health Care and Social Assistance <i>Ambulatory Health Care Services</i>	5,286	47%
2 Accommodation and Food Services <i>Food Services and Drinking Places</i>	3,352	93%
3 Educational Services <i>Educational Services</i>	3,206	100%
4 Retail Trade <i>Food and Beverage Stores</i>	2,947	24%
6 Professional, Scientific, and Tech Svc <i>Professional, Scientific, and Tech Svc</i>	1,572	100%
Total Jobs, All Industries	23,319	

SOTS Business Registrations

Secretary of the State, March 2025

New Business Registrations by Year

Year	2020	2021	2022	2023	2024
Total	735	949	892	1,020	1,166

Total Active Businesses 8,413

Key Employers

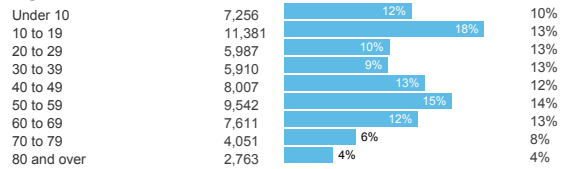
Data from Municipalities, 2025

- Bigelow Tea
- Fairfield University
- Sacred Heart University
- Carolton Chronic-Convalescent
- RBC-Heim Bearings

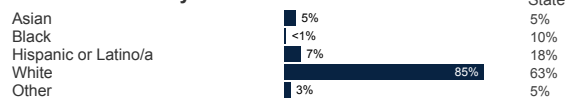
Demographics

ACS, 2019–2023

Age Distribution



Race and Ethnicity

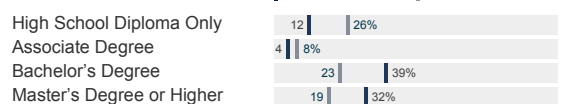


Hispanic includes those of any race. Remaining racial groups include only non-hispanic. 'Other' includes American Indian, Alaska Native, Native Hawaiian, Pacific Islander, two or more races.

Language Spoken at Home



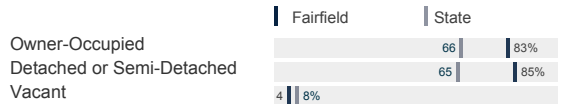
Educational Attainment



Housing

ACS, 2019–2023

	Fairfield	State
Median Home Value	\$738,000	\$343,200
Median Rent	\$2,194	\$1,431
Housing Units	22,435	1,536,049



Schools

CT Department of Education, 2024-25

School Districts

	Available Grades	Total Enrollment	Pre-K Enrollment	4-Year Grad Rate (2022-23)
Fairfield School District	PK-12	9,139	211	95%
Statewide	-	508,402	20,762	88%

Smarter Balanced Assessments

Met or Exceeded Expectations, 2023-24

	Math	ELA
Fairfield School District	69%	71%
Statewide	44%	49%

Fairfield, Connecticut

Labor Force

CT Department of Labor, 2024

	Fairfield	State
Employed	28,898	1,842,285
Unemployed	994	67,181

Unemployment Rate

Self-Employment Rate*

*ACS, 2019–2023



Catchment Areas of 15mi, 30mi, and 60mi

Massachusetts



Access

ACS, 2019–2023

	Fairfield	State
Mean Commute Time *	34 min	26 min

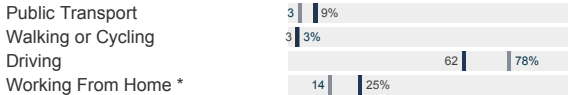
No Access to a Car



No Internet Access



Commute Mode



Public Transit

CT <i>transit</i> Service	-
Other Public Bus Operations	Greater Bridgeport Transit Authority
Train Service	Metro-North

* 5 year estimates include pre-pandemic data

Fiscal Indicators

CT Office of Policy and Management, State FY 2021-22

Municipal Revenue

Total Revenue	\$368,758,000
Property Tax Revenue	\$316,545,000
per capita	\$5,035
per capita, as % of state avg.	154%
Intergovernmental Revenue	\$33,680,000
Revenue to Expenditure Ratio	104%

Municipal Expenditure

Total Expenditure	\$354,828,000
Educational	\$218,902,000
Other	\$135,926,000

Grand List

Equalized Net Grand List	\$16,502,489,153
per capita	\$262,482
per capita, as % of state avg.	147%
Commercial/Industrial Share of Net Grand List	12%
Actual Mill Rate	26.98
Equalized Mill Rate	18.73

Municipal Debt

Moody's Rating (2024)	Aaa
S&P Rating (2024)	AAA
Total Indebtedness	\$192,317,000
per capita	\$3,059
per capita, as % of state avg.	104%
as percent of expenditures	54%
Annual Debt Service	\$26,090,000
as % of expenditures	7%

About Town Profiles

The Connecticut Town Profiles are two-page reports of demographic and economic information for each of Connecticut's 169 municipalities. Reports for data are available from profiles.ctdata.org

Feedback is welcome, and should be directed to info@ctdata.org

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