

UNIQUE OFFICE SPACE LEASE OPPORTUNITY

1723 Post Road East, Westport CT

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- Boutique office space well suited for financial manager/ private equity/ investment firm
 - High quality custom finishes throughout including kitchen and gym space
 - Superb Post Road location close to all amenities
 - Metro North Station- Green Farms - 1.8 mile, Southport – 1 mile
 - Exits 18 & 19 of I-95
 - Can accommodate small office users up to 1,652± SF
 - Intimate park-like setting with private parking
 - \$20 – 25 Per SF

For further information, please contact: Robert Lewis 203.226.7101 ext. 7 robert@vidalwettenstein.com

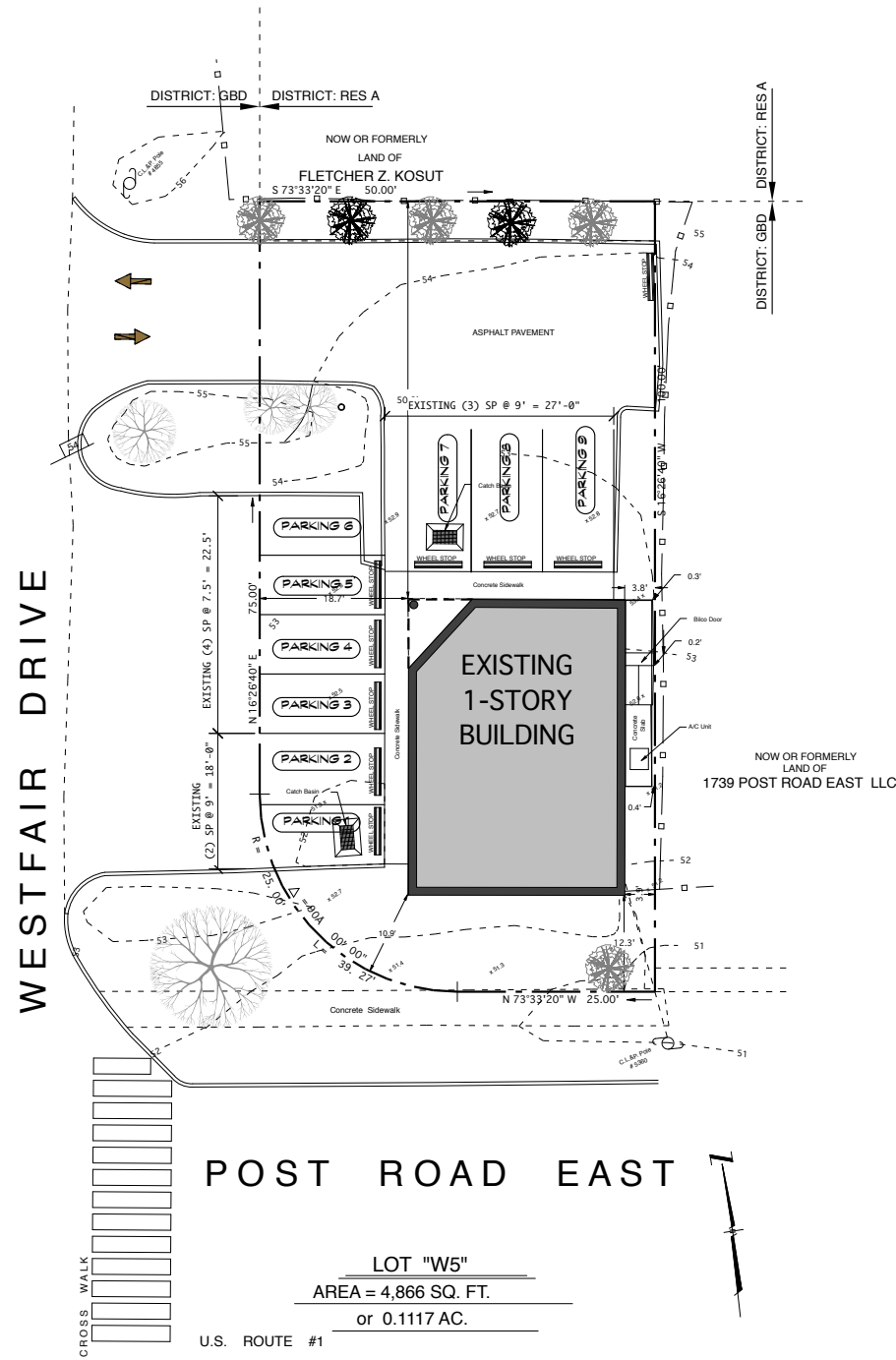
VIDAL/WETTENSTEIN, LLC



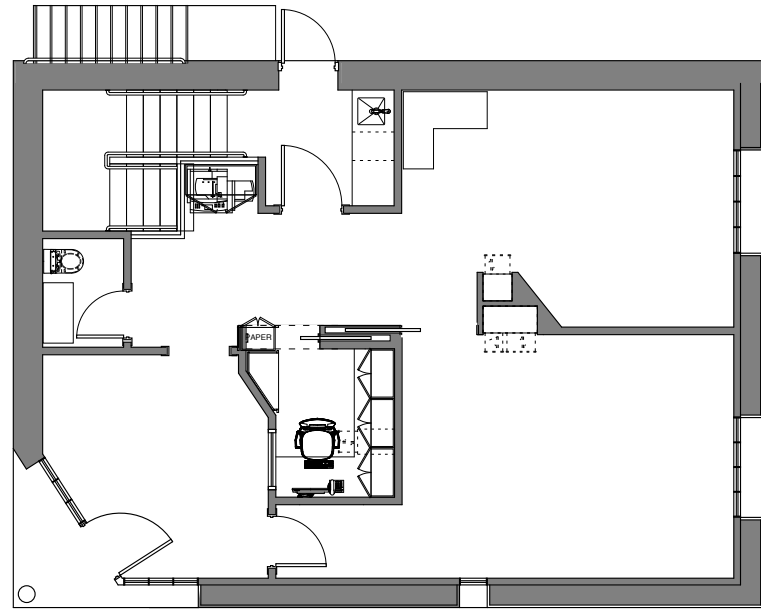
SIOR

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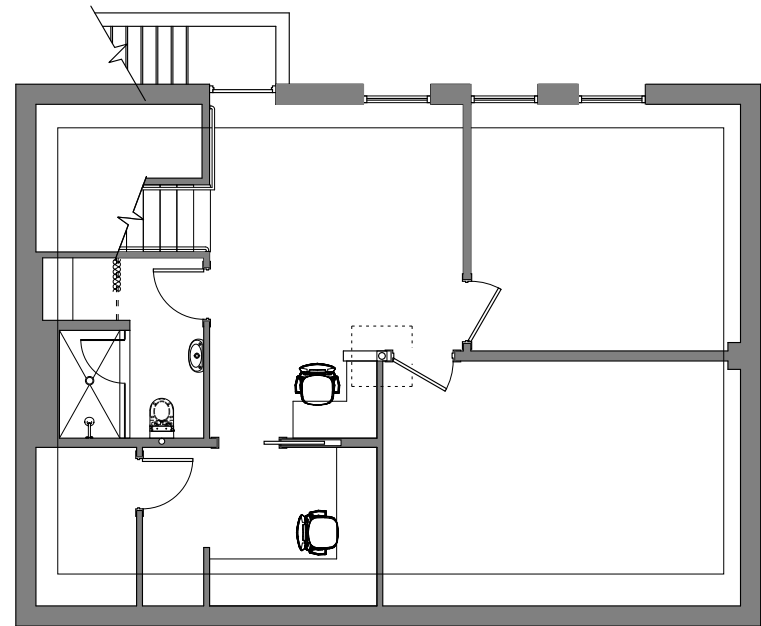
719 Post Road East, Westport, CT 06880
www.vidalwettenstein.com




1 SITE PLAN
SCALE: N.T.S.



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 CELLAR INTERIOR PLAN
SCALE: 1/4" = 1'-0"



COASTAL CONSTRUCTION GROUP

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COASTAL CONSTRUCTION GROUP INTERIOR RENOVATIONS

1723 POST ROAD EAST
WESTPORT, CT 06880

REVISIONS:	DATE:	DESCRIPTION:
	05/11/13	ISSUED FOR PERMIT
INFO:	JOB: 1723PRE	DRAWN BY: KLP
	SCALE: 1/4" = 1'-0"	DATE: 05/11/13
TITLE:	PROPOSED FLOOR PLANS	
SHEET #:	CCG.SK.A1	